



A view of the new maintenance building. Tall trees screen maintenance area from golfer's view.

With Perseverance - A New Maintenance Building

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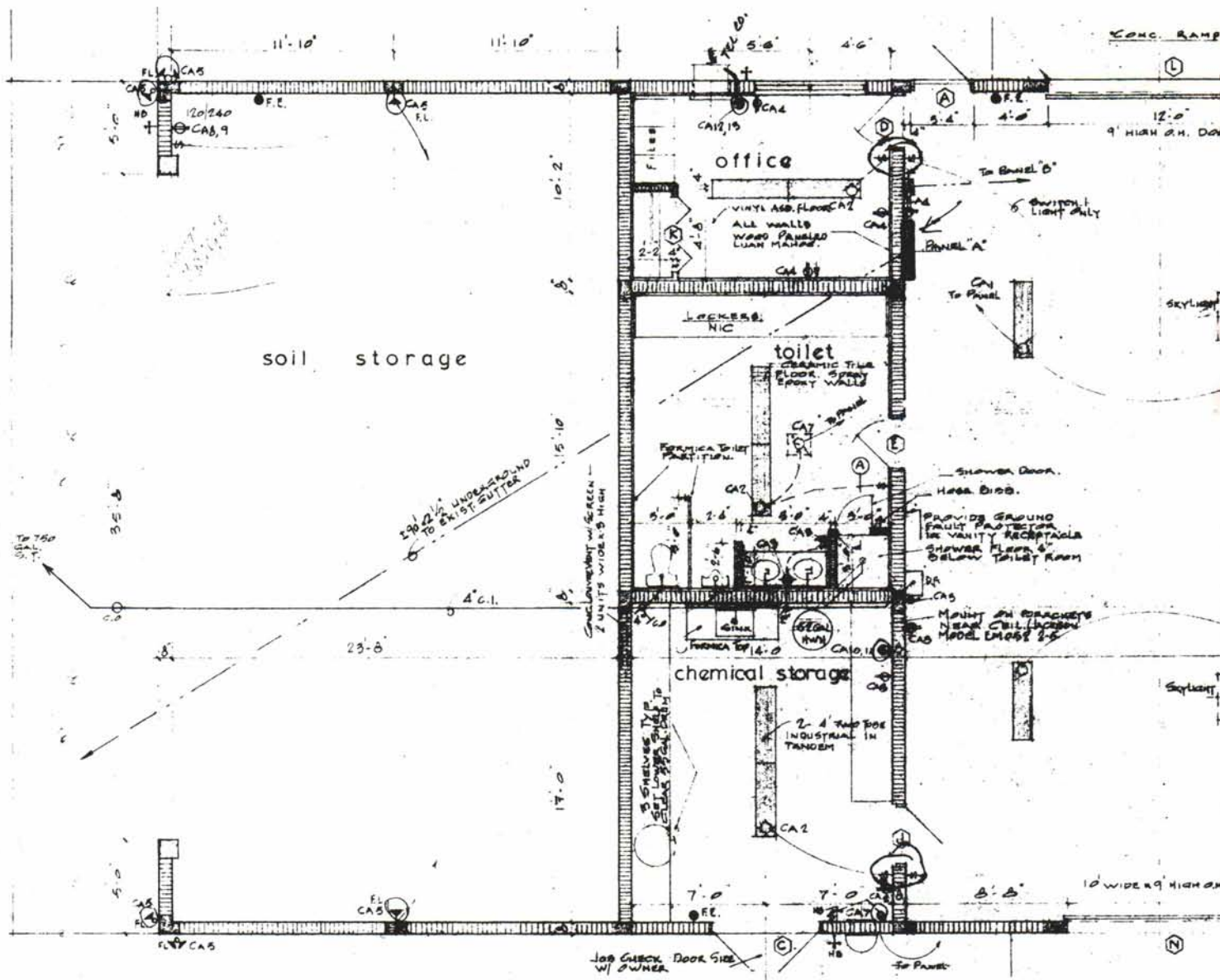
TREMENDOUS STRIDES have been made in the golf course superintendent's profession since the days when the old tin building called "the barn" was stuck back in the woods, out of sight, so as not to mar the rest of the club theme and beauty. With sand greens as my first experience with golf course care, what else could one expect! As a point of interest, some of the first golf courses were built on farmland with barns to shelter and accommodate

horses and dairy animals. These were converted to golf course maintenance use, but they were still called barns long after the golf course replaced the farm.

At the Riviera Country Club, in Coral Gables, Florida, we worked out of a building which had four additions attached to it. The first addition was made in 1926. One section of the building still had a dirt floor. The old building was long and narrow, and it was arranged in such a way that we

could not house all the equipment. In fact, we always kept over \$100,000 worth of precision machinery out in the weather. When it rained, we could go canoeing in the old barn. Definitely, we needed a *maintenance* building.

At different times, the club manager and I persuaded members of the board to inspect the old building. Prints were made of pictures taken through the years showing equipment parked outside the barn. These prints and copies



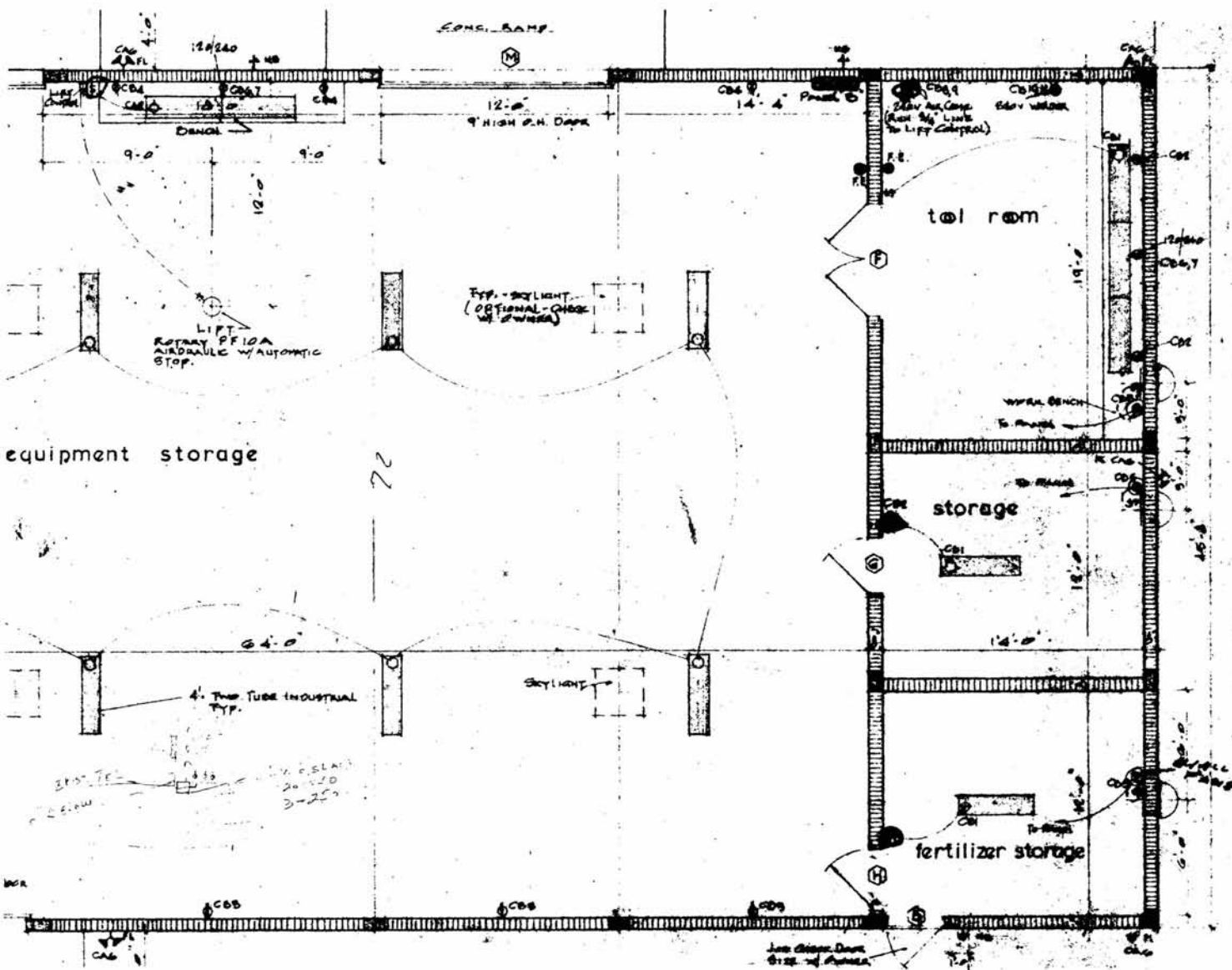
of all literature that we could find on life expectancy of golf course equipment, especially that which pertained to South Florida, were given to the board members. We also stressed that depreciation costs increased eight percent on equipment exposed to weathering all year long. Finally convinced of the need, the board of governors approved an expenditure of \$137,000 for the construction of a new maintenance building in the spring of 1979.

Having served five years on the city planning and zoning board, I knew the next hurdle we faced was to acquire a building permit. One of the club's founding members, an architect, made up the drawings and blueprints from sketches I provided for him. After all the red tape was done with, an unexpected obstacle surfaced. One board member argued that the building as planned would be too small to house all our equipment. To convince him that

Floor plan for the maintenance and storage building, Riviera Country Club, Coral Gables, Florida.

The equipment storage area . . . of adequate size.





we planned well, we used rope to stake out the new building exactly as it was proposed on one fairway. We then moved all our equipment into the roped area to demonstrate that it fit, with room to spare.

Construction was begun in September, 1979, and the building was ready for use in December. The prime features are: a hydraulic lift for equipment repair, sufficient storage area to keep topsoil and sand dry, a room that accommodates 30 tons of bag fertilizer, a well-ventilated chemical room equipped with a sink and a storage area for the required safety equipment.

The hub of the golf course operation is the superintendent's office. It is spacious enough for file cabinets, records and reference material, a desk and chairs to accommodate small meetings with my foreman and members of my crew. My office is well-lighted; it is

heated and air-conditioned. It is a very comfortable work room.

Working out of the new maintenance building also improved the work attitude and morale of our employees. They are more comfortable now that they have facilities that allow them to eat, wash, shower and dress as they would at home. Their efficiency improved because of this and the better organized work building that makes it easier to move the equipment out each morning. Having the equipment housed indoors gives them a feeling that the machinery is being cared for and they take better care of it as a result. Yes, the new maintenance building benefited the club in more ways than one.

Planning Checklist

1. Select centrally located site for maintenance building, with easy access for trailer and truck delivery.

2. Screen building and maintenance grounds from golfer's view with trees and shrubbery.
3. Comply with OSHA regulations for safety in storage of pesticides, petroleum products, etc.
4. Arrange for proper security such as fencing, burglar alarms and lighting.
5. Install irrigation controls in the building, if possible.
6. Arrange for dumpster units and rack to be located in an area large enough for trash removal vehicles.

Editor's note: Mr. Oxenvad recently resigned from Riviera Country Club and accepted the superintendent's position at the High Ridge Country Club, where the members thought so highly of the Riviera maintenance building plans that they built an identical facility there. In his long career he has been with five different courses at the time that each club was in the process of building a maintenance building.